

WORTH PARISH COUNCIL

Planning and Highway's
Committee Meeting

3rd February 2025

To: Members of the Planning and Highways Committee.

Notice of Meeting

You are hereby summoned to the **Planning and Highways Committee** meeting of Worth Parish Council, on **Monday, 3rd February 2025, after the Finance and GP Meeting.** In the South Room, The Parish Hub, Borers Arms Road, Copthorne where the following business will be considered and transacted.

Mrs Leanne Bannister Chief Officer

AGENDA

1. **Public Question Time** - To receive, and act upon if considered necessary, comments made by members of the public.

Members of the Public are welcome to ask questions of the Council on matters that arise under its remit. The question should not be a statement, and it would be appreciated to be kept short, to maximise the time for other questions. The chairman will call the question from those who are indicating that they wish to speak.

2. **Apologies** – to receive and approve apologies for absence.
3. **Declarations of Disclosable Pecuniary and Other Interests** – To receive any declarations of interest from Councillors.
4. **Minutes** – To discuss, amend if necessary and thereafter approve the Minutes of the Planning and Highways Committee meeting held on 13th January 2025.
5. **Chairman's Announcements** – To receive any announcements by the Chairman of the Planning and Highways Committee.
6. **Correspondence** – To note correspondence received.
7. **Update on Mid Sussex District Council Planning Committee meetings** – To note items relevant to Worth Parish Council on the agendas of the following Mid Sussex District Council Committees:
 - a) Planning Committee – next meeting: 13th February 2025 at 4.00pm.
 - b) District Planning Committee – next meeting: 20th February 2025 at 2.00pm.
8. **Planning Decisions from Mid Sussex District Council** – To receive and comment upon decisions made by Mid Sussex District Council, the Local Planning Authority

	Address	WPC	MSDC
DM/24/2824	1 Oakley Grove Crawley Down Crawley West Sussex RH10 4UT	Defer	Permitted
DM/24/2777	61 Newtown Copthorne Crawley West Sussex RH10 3LX	Defer	Permitted
DM/24/2837	4 Elger Way Copthorne Crawley West Sussex RH10 3JJ	Defer	Permitted
DM/24/1482	40 Tiltwood Drive Crawley Down Crawley West Sussex RH10 4PH	Defer	Permitted
DM/24/2818	16 Kitsmead Copthorne Crawley West Sussex RH10 3PW	Defer	Permitted
DM/24/3086	Corners Church Road Copthorne Crawley West Sussex RH10 3RD	Support	Permitted

DM/24/3083	Crawley Down Village Hall Turners Hill Road Crawley Down Crawley West Sussex RH10 4HE		Refused
DM/24/1255	10 Maynard Street Copthorne Crawley West Sussex RH10 3US	Defer	Dispose
DM/24/2053	Firs Farm Copthorne Common Copthorne Crawley West Sussex RH10 3LF	Defer	Refused

- 9. Updates on the Mid Sussex District Plan-** To receive and comment upon any updates in relation to the district plan.
- 10. Applications in Neighbouring Parishes-** to receive and note a list of major applications in neighbouring parishes which may affect Worth Parish, and to consider submitting comments if appropriate
- 11. Licencing-** To receive and note any new licencing applications.

Reference	Application Type	Premises Address	Nature of Variation
LI/25/0065	Premises	Co-op 1 Station Road Crawley Down West Sussex RH10 4HZ	Removal of Conditions
LI/25/0102	Premises	Duman Turkish Restaurant & Meze Bar 12 Old Station Close Crawley Down West Sussex RH10 4TX	Update plan and amend conditions.

- 12. Appeals –** To receive and note the following appeal.

Reference	Address	Proposal	WPC Decision
AP/25/0001	38 Payne Way Copthorne Crawley West Sussex RH10 3YQ	Proposed single storey side/rear extension.	Defer to Officer – new build on Heathy Wood. In relation to application DM/24/1936.

- 13. Planning Compliance action-** To receive a report on any actions currently being investigated by Mid Sussex Council, and to report any further breaches.
- 14. Highway Issues-** To discuss and make comments upon any issues relating to Highways,
- 15. Gatwick Airport-** to receive and comment upon any updates regarding Gatwick Airport.
- 16. Support for a TRO- Double Yellow lines to Woodland Drive Crawley Down-** to discuss and make comment to the application to introduce double yellow lines to Woodland Drive Crawley Down.
- 17. Ratification of Planning Recommendations–** To consider and ratify the following recommendations submitted to Mid Sussex District Council as the Local Planning Authority for planning applications where the deadline for consultee comments is before the next meeting date.

Applications to be Ratified	
<u>DM/24/2862</u> <u>79 Church Lane Copthorne Crawley West Sussex RH10 3QG</u> Two Storey side extension and single Storey rear extension	Defer to Officer
<u>DM/25/0004</u>	Defer to Officer

<u>5 Border Chase Copthorne Crawley West Sussex RH10 3QH</u>	
Proposed porch and tiled roof to existing bay windows	

18. New Planning Applications- To Consider and agree recommendations to submit to Mid Sussex District Council as the Local Planning Authority, on the following planning applications.

Type 1 applications	
<u>DM/24/3104</u> <u>Sandhill Farm Sandhill Lane Crawley Down Crawley West Sussex RH10 4LE</u> Temporary agriculturally tied caravan accommodation	
<u>DM/25/0053</u> <u>Firs Farm Copthorne Common Copthorne Crawley West Sussex RH10 3LF</u> Conversion of a storage building to form two dwellinghouses (2 x Use Class C3 Single Family Dwellinghouses).	
<u>DM/25/0047</u> <u>Firs Farm Copthorne Common Copthorne Crawley West Sussex RH10 3LF</u> Conversion of two buildings (Use Class E) to form a three-bedroom family dwellinghouse (Use Class C3), associated outbuilding, amenity space and parking provision	
Type 2 Applications	
<u>DM/24/2927</u> <u>Meadowside Hophurst Lane Crawley Down Crawley West Sussex RH10 4LJ</u> Part single part two storey extension	
<u>DM/24/3085</u>	

<u>40 Westway Copthorne Crawley West Sussex RH10 3QR</u>	
Ground floor rear extension	
<u>DM/25/0140</u>	
<u>Cabin At Horsepasture Wood Wallage Lane Rowfant West Sussex</u>	
Application for an Existing Certificate of Lawful Use or Development for the construction of a residential cabin. This is an application to establish whether the development is lawful. This will be a legal decision where the planning merits of the existing use cannot be taken into account.	
Tree applications	
No Applications	

- 19. Matters for Consideration submitted by the Village Working Parties, or by the Co-Ordination Group** - to note activities to date, and to receive any recommendations
- 20. Consideration of items for discussion by the Village Working Parties, or by the Co-Ordination Group** – to consider and agree items to pass to the two Working Parties, or the Co- for discussion at their meetings, these to be put on a future Council/Committee agenda if necessary.
- 21. Date of the next meeting** – Monday 3rd March 2025 after the Finance and GP Meeting.

ALL MEMBERS OF THE PUBLIC HAVE THE RIGHT TO ATTEND, AND ARE WELCOME AT MEETINGS

Worth Parish Council

Minutes of the Planning and Highways Committee Meeting held on 13th January 2025, commencing at 7.53 pm

Present Cllr Williams (Chair) Cllr Pointer (Vice Chair)
Cllr Bingle Cllr Kipps
Cllr Dorey Cllr Wilson
Cllr Casella
Cllr Coote

Miss H Smith (Assistant Clerk) 7 Members of the Public

Cllr Hodson and Cllr Phillips sat as members of the public

152	Public Question Time <p>Liz welcomed all members of the public, and asked if anyone would like to speak. The 7 members of the public were at the meeting to discuss Planning application DM/24/2957, The Prince Albert pub.</p> <p>The first member of public to speak wanted to raise concerns about a large retail group having a detrimental effect on local shops. They felt they have more buying power and greater staffing capacity which will ruin the local family run businesses that also reside along the copthorne Bank. They also wanted to raise concerns on vehicle access and parking concerns. The member of public also felt that Heathy Wood was a more suitable site.</p> <p>Cllr Phillips asked to speak as a member of the public. Cllr Phillips requested that the ast clerk whilst writing the consultee comment concentrate on planning issues rather than commercial.</p> <p>Cllr Bingle asked Cllr Phillips if the application would go to his District planning meeting. Cllr Phillips confirmed it would not.</p> <p>Cllr Hodson speaking as a member of the public suggested we concentrate on the horizontal splay lines and the transport and movement pack as well as the viability report. Cllr Hodson explained why West of Copthorne was not a suitable allocation for a retail offering. A second member of the public asked to speak on behalf of their family run business. They explained that the store had just been refurbished at a considerable cost to the family. They are concerned this new application will have a detrimental effect on their business which also houses the the village Post Office. It will also have a financial impact on the family.</p> <p>A third member of the public asked to speak, they wished to express their concerns regarding the transport statement and has forwarded an email exchange between them and the traffic surveyor for the office to review. The member of the public also asked that as we had an extension could we add some of their comments. Cllrs explained that they could send in their comments themselves direct to the planning officer.</p>
153	Apologies <p>Apologies were received for Cllrs King and Gibson</p>
154	Declarations of Disclosable Pecuniary and Other Interests <p>Cllr Casella has declared an interest in planning application DM/24/2957- as this application will go to his Mid Sussex planning committee. Cllr Casella will keep a clear mind.</p>
155	Minutes <p>It was AGREED by all present that the Minutes of the Planning & Highways Committee meeting held on 9th December 2024 were a true and correct record.</p>
156	Chairman's Announcements <p>Cllr Williams noted the foliage on the entrance to Heathy Wood needed attending to. The ast clerk will contact St Modwen's.</p>

157 Correspondence

No Correspondence to note

158 Update on Mid Sussex District Council Planning Committee Meetings

Planning Committee – 16th January at 4pm.

Nothing pertaining to Worth

District Planning Committee – 23rd January at 2pm.

Agenda not yet published at the time of drafting the report.

159 Planning Decisions from Mid Sussex District Council

	Address	WPC	MSDC
DM/24/2470	48 Wychwood Place Crawley Down Crawley West Sussex RH10 4HN	Defer	Permitted
DM/24/2441	2 Buckley Place Crawley Down Crawley West Sussex RH10 4JG	Defer	Permitted
DM/24/2662	Tresanton Borers Arms Road Copthorne Crawley West Sussex RH10 3LJ		Prior approval not required
DM/24/2645	8 Grange Road Crawley Down Crawley West Sussex RH10 4JT		Prior approval not required
DM/23/1371	The Old Station Wallage Lane Rowfant West Sussex	Support	Permitted
DM/24/2768	Inglewell Sandhill Lane Crawley Down Crawley West Sussex RH10 4LB	Defer	Permitted
DM/24/2590	Kwik Mart 6 Copthorne Bank Copthorne Crawley West Sussex RH10 3QX	Defer	Permitted
DM/24/2697	13 Church Lane Copthorne Crawley West Sussex RH10 3PT	Defer	Permitted

Cllrs NOTED this information.

160 Updates on the Mid Sussex District Plan-

The Inspector is currently on annual leave- further updates are expected on return.

161 Applications in Neighbouring Parishes

The report was NOTED.

162 Licencing

No Licencing applications to Note

163 Appeals

No Appeals to Note

164 Planning Compliance Action

Nothing to note.

165 Highways Issues

Cllrs NOTED the highway updates

Cllr Dorey has been approached by residents to ask if they can use the bus gate entrance into Heathy Wood whilst the road closure on Shipley Bridge way is live.

The Ast Clerk advised the Chief Officer had been in contact with highways to ask the question.

166 Gatwick Airport

Cllrs NOTED the application by Gatwick Airport Limited.

167 West Sussex Road Safety Strategy-

Cllrs NOTED the report, the Ast clerk notified the committee members that this strategy will be communicated to our residents.

168

Meeting with the Yellowstone group-

Cllrs NOTED the attached report.

169 Ratification of Planning Recommendations

Cllrs NOTED this.

Applications to be Ratified	Submissions
<p><u>DM/24/2981</u></p> <p><u>Palmers Autocentre Tyres Palmers Autocentre Tyres Turners Hill Road Crawley Down Crawley West Sussex RH10 4HQ</u></p> <p>Variation of condition 4 of planning appeal ref AP/23/0015 (DM/22/0867 - To allow for design changes.</p>	<p>Defer to Officer</p>
<p><u>DM/24/2957</u></p> <p><u>The Prince Albert Copthorne Bank Copthorne Crawley West Sussex RH10 3QX</u></p> <p>Sever existing land to retain existing public house use and area of pub garden and erect a convenience store and 4 no. apartments with associated works, including alterations to the existing vehicular access and car park.</p>	<p>Extension Granted for the Planning and Highways Committee Meeting.</p>
<p><u>DM/24/2799</u></p> <p><u>Land At Caldyne Park Wallage Lane Rowfant Crawley West Sussex RH10 4NQ</u></p> <p>Proposed new 4-bedroom dwelling.</p>	<p>Defer to Officer noting potentially contaminated land. This site is also changing commercial to residential. Supervised work be carried out to clear any contamination should be a requirement.</p>
<p><u>DM/24/2590</u></p> <p><u>Kwik Mart 6 Copthorne Bank Copthorne Crawley West Sussex RH10 3QX</u></p> <p>Retrospective application for erection of storage outbuilding.</p>	<p>Defer to Officer noting disappointment the application was retrospective.</p>
<p><u>DM/24/2965</u></p> <p><u>Tubbys MOT Ltd Unit 3A Acacia Grove Copthorne Road Copthorne Crawley West Sussex RH10 3PD</u></p> <p>8 Dead Scotch Pines - Fell to ground level.</p>	<p>Defer to Officer noting incorrect use of address of applicant. This application has since been withdrawn.</p>

<p><u>DM/24/3042</u></p> <p><u>Annexe Mill House Old Hollow Copthorne West Sussex RH10 4TB</u></p> <p>Application made under Section 191 of the Town and Country Planning Act 1990 to establish the lawfulness of 2no. independent residential dwellings (Use Class C3) and associated operational development. This is an application to establish whether the development is lawful. This will be a legal decision where the planning merits of the existing use cannot be taken into account</p>	Defer to Officer
<p><u>DM/24/3086</u></p> <p><u>Corners Church Road Copthorne Crawley West Sussex RH10 3RD</u></p> <p>T1 and T2 - 2 x Lime, controlled dismantle to ground level</p>	Support – on the grounds WPC contacted the application by letter as these trees were noted as being dead.

170 New Planning Applications

Type 1 Applications	
<p><u>DM/24/2957</u></p> <p><u>The Prince Albert Copthorne Bank Copthorne Crawley West Sussex RH10 3QX</u></p> <p>Sever existing land to retain existing public house use and area of pub garden and erect a convenience store and 4 no. apartments with associated works, including alterations to the existing vehicular access and car park.</p>	<p>Standing orders were raised to Allow Cllr Phillips to respond to Cllr Williams question, 'will there be an element of social housing in the proposed 4 flats'</p> <p>Cllr Casella answered there are not enough units.</p> <p>Standing orders were reinstated.</p> <p>It was AGREED that if the application goes to committee that Cllr Phillips, Williams and Dorey will go and speak.</p> <p>It was AGREED by all present except from Cllr Casella who abstained to object to this application and a response would be pulled together and sent to Mid Sussex.</p>
Type 2 Applications	
No Applications	
Tree Applications	
No Applications	

171 Matters for Consideration submitted by the Village Working Parties, or by the Co-Ordination Group

No Matters for consideration

172 Consideration of items for discussion by the Village Working Parties

No Matters for consideration.

173 Date of the next meeting

Monday 3rd February after the Finance and General Purposes Meeting.

Meeting closed at 8.51pm

Chairman: _____

Date: _____

Clerk's Report

To be considered in conjunction with the agenda for this meeting.

Meeting of the Planning and Highways Committee to be held on Monday 3rd January 2025, after the Finance and GP Meeting. In the South Room, The Parish Hub, Borers Arms Road, Copthorne where the following business will be considered and transacted.

1 Public Question Time-

The Public Forum will last for a period of up to fifteen minutes during which the public are welcome to ask questions of the Council on matters that arise under its remit. The question should not be a statement, and it would be appreciated to be kept short, to maximise the time for other questions. The chairman will call the question from those who are indicating that they wish to speak.

2 Apologies

At the time of writing this report, no apologies have been received.

3 Declarations of Interest

Members are advised to consider the agenda for the meeting and determine in advance if they may have a Personal, Prejudicial or a Disclosable Pecuniary Interest in any of the agenda items. If a member decides they do have a declarable interest, they are reminded that the interest and the nature of the interest must be declared at the commencement of the consideration of the agenda item; or when the interest is apparent to them. Details of interest will be Minuted.

Where there is a Prejudicial Interest (which is not a Disclosable Pecuniary Interest) Members are reminded that they must withdraw from the meeting chamber after making representations or asking questions.

If the interest is a Disclosable Pecuniary Interest, Members are reminded that they must take no part in the discussions of the item at all; or participate in any voting; and must withdraw from the meeting chamber unless they have received a dispensation.

4 Minutes

To approve the Minutes of 13th January 2025.

5 Chairmans Announcements

There were no planned announcements at the time of writing this report.

6 Correspondence

To note any correspondence

7 Update on Mid Sussex District Council Planning Committee meetings.

Planning Committee – 13th February at 4pm.

District Planning Committee – 20th February at 2pm.

No agenda has been issued.

8 Planning Decisions from Mid Sussex District Council

To note the planning decisions as listed on the agenda.

	Address	WPC	MSDC
DM/24/2824	1 Oakley Grove Crawley Down Crawley West Sussex RH10 4UT	Defer	Permitted
DM/24/277	61 Newtown Copthorne Crawley West Sussex RH10 3LX	Defer	Permitted
DM/24/2837	4 Elger Way Copthorne Crawley West Sussex RH10 3JJ	Defer	Permitted
DM/24/1482	40 Tiltwood Drive Crawley Down Crawley West Sussex RH10 4PH	Defer	Permitted
DM/24/2818	16 Kitsmead Copthorne Crawley West Sussex RH10 3PW	Defer	Permitted
DM/24/3086	Corners Church Road Copthorne Crawley West Sussex RH10 3RD	Support	Permitted
DM/24/3083	Crawley Down Village Hall Turners Hill Road Crawley Down Crawley West Sussex RH10 4HE		Refused
DM/24/1255	10 Maynard Street Copthorne Crawley West Sussex RH10 3US	Defer	Dispose
DM/24/2053	Firs Farm Copthorne Common Copthorne Crawley West Sussex RH10 3LF	Defer	Refused

9 Updates on the Mid Sussex District Plan

10 Applications in Neighbouring Parishes

Councillors are asked to note the report attached.

Suggested actions to consider are in red.

11 Licencing

Reference	Application Type	Premises Address	Nature of Variation
LI/25/0065	Premises	Co-op 1 Station Road Crawley Down West Sussex RH10 4HZ	Removal of Conditions
LI/25/0102	Premises	Duman Turkish Restaurant & Meze Bar 12 Old Station Close Crawley Down West Sussex RH10 4TX	Update plan and amend conditions

12 Appeals

Reference	Address	Proposal	WPC Decision
AP/25/0001	38 Payne Way Copthorne Crawley West Sussex RH10 3YQ	Proposed single storey side/rear extension.	Defer to Officer – new build on Heathy Wood. In relation to application DM/24/1936.

13 Planning Compliance

Nothing to report

14 Highways Issues

15 Gatwick Airport

16

Support for a TRO- Double Yellow lines to Woodland Drive Crawley Down

A resident from Crawley Down is looking for Worth Parish Council to support their application for double yellow lines to Woodland Drive, Crawley Down. Opposite the junction of Hazel Way and to cover the bridle path. The proposed introduction of yellow lines is to ensure no parking at all times at the junction of Woodlands Drive and Hazel Way, Crawley Down as a safety measure for both residents and pedestrians and cyclists emerging from the footpath between Copse Close and Woodlands Drive which is used by many as part of the Worth Way.

The resident already has a letter of support from Cllr Gibson.

Photos of location can be found in the meeting pack.

18 Ratification of Planning Recommendations

Responses to the following applications were made under delegated powers.

Applications to be Ratified	
<u>DM/24/2862</u>	Defer to Officer
<u>79 Church Lane Copthorne Crawley West Sussex RH10 3QG</u>	
Two Storey side extension and single Storey rear extension	

Planning and Highways Committee Clerk's Report – 3rd February 2025

<p><u>DM/25/0004</u></p> <p><u>5 Border Chase Copthorne Crawley West Sussex RH10 3QH</u></p> <p>Proposed porch and tiled roof to existing bay windows</p>	<p>Defer to Officer</p>
<p>19</p>	<p>New Planning Applications- To Consider and agree recommendations to submit to Mid Sussex District Council as the Local Planning Authority, on the following planning applications.</p>

<p>Type 1 applications</p>	
<p><u>DM/24/3104</u></p> <p><u>Sandhill Farm Sandhill Lane Crawley Down Crawley West Sussex RH10 4LE</u></p> <p>Temporary agriculturally tied caravan accommodation</p>	<p>DM/19/2345 Retention of mobile home on a temporary basis (until November 2023) for the safety, security and upkeep of the on-site farming operations. Refused</p> <p>DM/20/0664 Retention of mobile home until November 2023. Refused</p> <p>DM/23/3072 One new custom/self-build dwellinghouse and associated works. Refused</p>
<p><u>DM/25/0047</u></p> <p><u>Firs Farm Copthorne Common Copthorne Crawley West Sussex RH10 3LF</u></p> <p>Conversion of two buildings (Use Class E) to form a three-bedroom family dwellinghouse (Use Class C3), associated outbuilding, amenity space and parking provision</p>	<p>DM/24/2053- Conversion of two buildings to 1 x single family dwellinghouse (Use Class C3) with associated amenity space and parking provision. Refused</p>
<p><u>DM/25/0053</u></p> <p><u>Firs Farm Copthorne Common Copthorne Crawley West Sussex RH10 3LF</u></p>	<p>DM/24/2053- Conversion of two buildings to 1 x single family dwellinghouse (Use Class C3) with associated amenity space and parking provision. Refused</p>

Conversion of a storage building to form two dwellinghouses (2 x Use Class C3 Single Family Dwellinghouses).	
Type 2 Applications	
<u>DM/24/2927</u> <u>Meadowside Hophurst Lane Crawley Down Crawley West Sussex RH10 4LJ</u> Part single part two storey extension	No recent relevant planning history.
<u>DM/24/3085</u> <u>40 Westway Copthorne Crawley West Sussex RH10 3QR</u> Ground floor rear extension	No relevant planning history.
<u>DM/25/0140</u> <u>Cabin At Horsepasture Wood Wallage Lane Rowfant West Sussex</u> Application for an Existing Certificate of Lawful Use or Development for the construction of a residential cabin. This is an application to establish whether the development is lawful. This will be a legal decision where the planning merits of the existing use cannot be taken into account.	DM/24/2310 Application for an Existing Lawful Development Certificate for the construction of a residential cabin. Refused
Tree applications	
No Applications	

- 20 Matters for Consideration submitted by the Village Working Parties, or by the Co-Ordination Group** - to note activities to date, and to receive any recommendations
- 21 Consideration of items for discussion by the Village Working Parties** – to consider and agree items to pass to the two Working Parties for discussion at their meetings, these to be put on a future Council/Committee agenda if necessary.
- 22 Date of the next meeting** – Monday 3rd March 2025 after the Finance and GP Meeting.

Planning and Highways Committee Meeting Applications to be Ratified.

Type 1 Applications

For these applications, Hannah will ask for an extension. If not possible, then an extra meeting may have to be called, dependent on the potential impact of the proposed development

Application	Planning History	Suggested Submission
No Applications		

Type 2 Applications

For Type 1 and Type 2 applications, a response of “Defer to officer” will be submitted, as per the current TOR, unless there are extenuating circumstances.

Applications to be ratified	Planning History	Suggested Submission
<p><u>DM/24/2862</u></p> <p><u>79 Church Lane Copthorne Crawley West Sussex RH10 3QG</u></p> <p>Two Storey side extension and single Storey rear extension</p>	No Previous planning history	Defer to Officer
<p><u>DM/25/0004</u></p> <p><u>5 Border Chase Copthorne Crawley West Sussex RH10 3QH</u></p> <p>Proposed porch and tiled roof to existing bay windows</p>	DM/21/4257- Extension above existing garage set back 500mm from building line. Permitted.	Defer to Officer

Tree Applications to be Ratified

Applications to be ratified	Planning History	Suggested Submission

No Applications		
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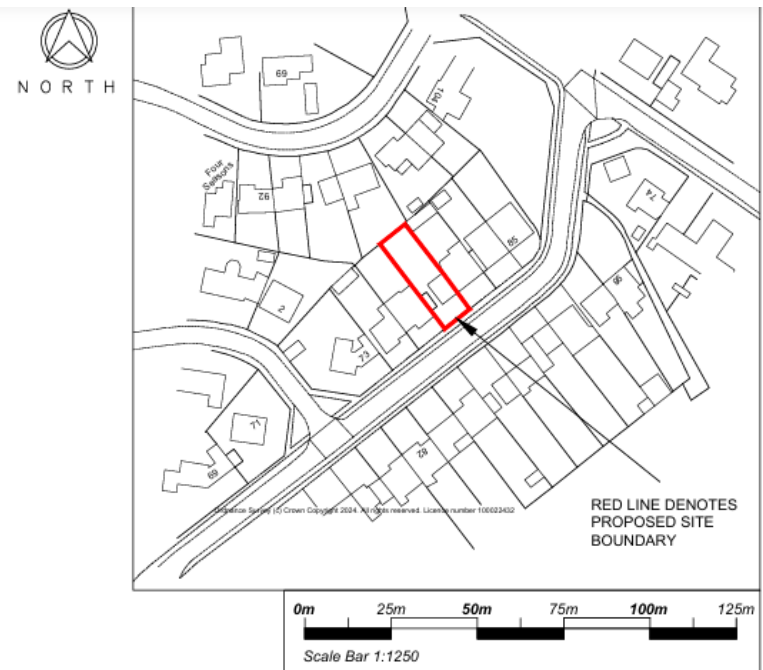
DM/24/2862

79 Church Lane Copthorne Crawley West
Sussex RH10 3QG

Two Storey side extension and single Storey rear
extension



SITE BLOCK PLAN (1:500)

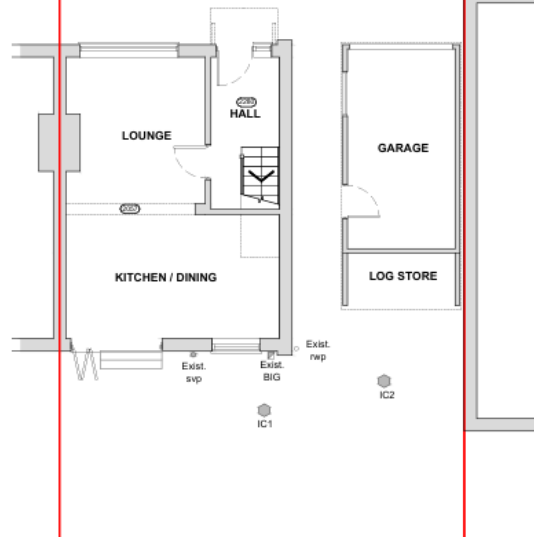


SITE LOCATION PLAN (1:1250)

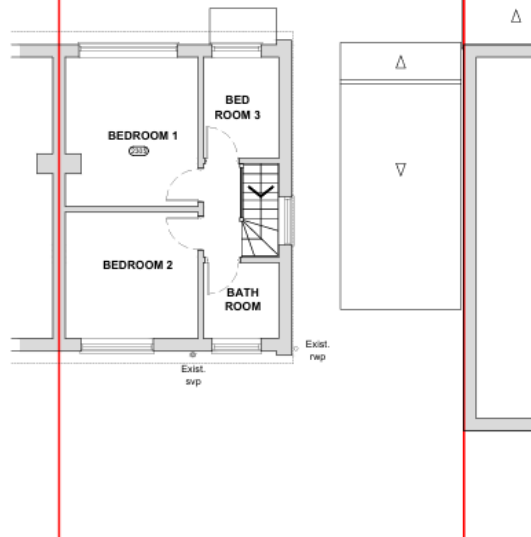
HATCHED AREA
DENOTES
PROPOSED NEW
EXTENSION



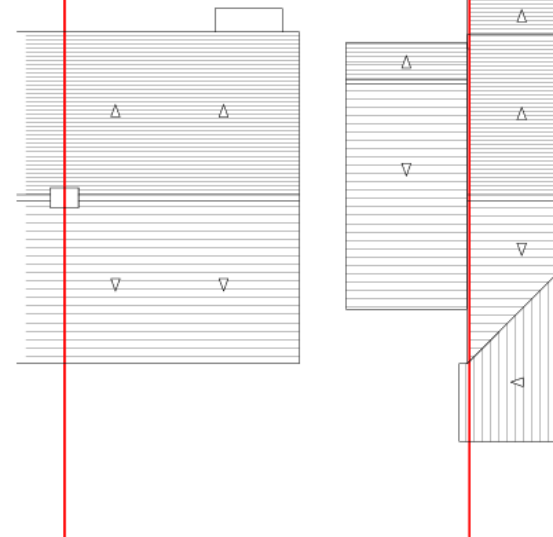
Ground floor - 34.5m²
Garage - 16m²
First floor - 34.5m²
Total - 85m²



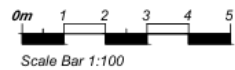
EXISTING GROUND FLOOR PLAN
SCALE 1:100

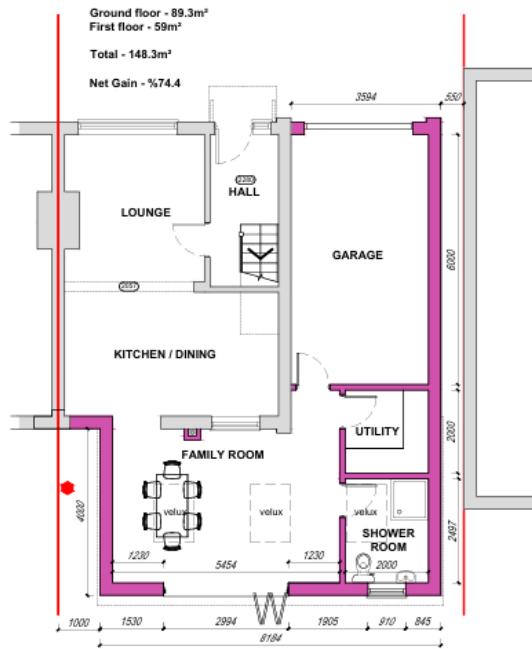


EXISTING FIRST FLOOR PLAN
SCALE 1:100

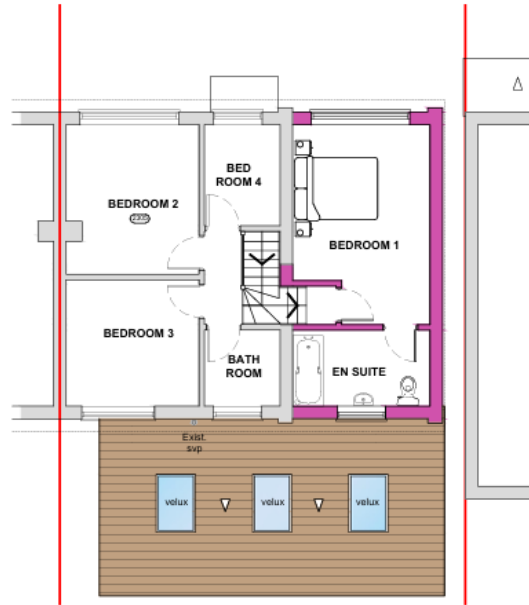


EXISTING ROOF PLAN
SCALE 1:100

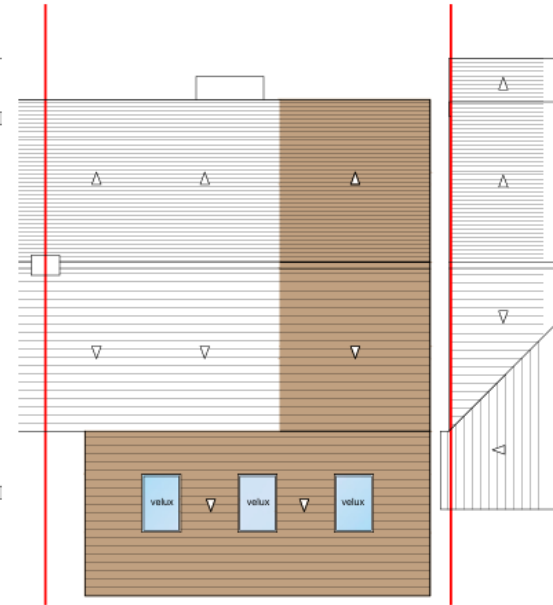




PROPOSED GROUND FLOOR PLAN
SCALE 1:100

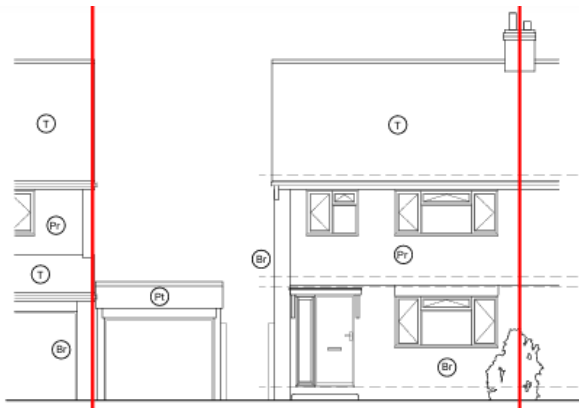


PROPOSED FIRST FLOOR PLAN
SCALE 1:100



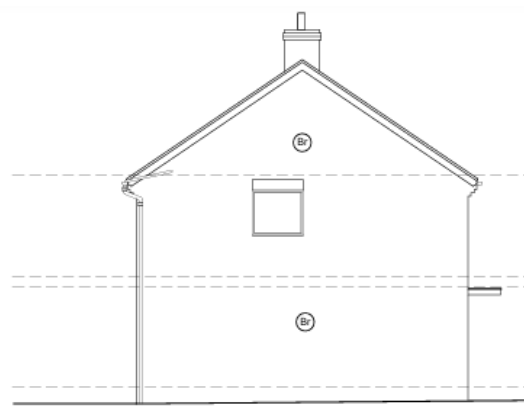
PROPOSED ROOF PLAN
SCALE 1:100





EXISTING FRONT ELEVATION

SCALE 1:100



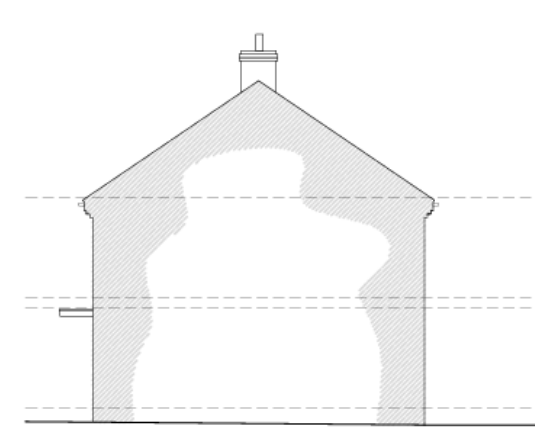
EXISTING SIDE ELEVATION

SCALE 1:100



EXISTING REAR ELEVATION

SCALE 1:100



EXISTING SIDE ELEVATION

SCALE 1:100

(T)	Concrete interlocking tile roof.
(Pl)	Plain clay tile roof.
(Fr)	Flat Roof.
(Zr)	Zinc Seam Roof.
(Sr)	Shingle Roof.
(St)	Slate Tile Roof.
(Br)	Facing Brickwork.
(Th)	Tile hanging.
(Re)	Render Finish.
(Tc)	Timber Cladding.
(Pc)	PVC Cladding.
(Sn)	Stone Finish.
(Pr)	Pebble Dash Render.
(UW)	uPVC sealed double glazed casement units.
(Us)	Sealed double glazed sliding sash all bar.
(Og)	Obscure glazed.
(Bd)	Bi-Fold doors - PC Aluminium.
(Pd)	Patio Doors.
(Vw)	Velux window.

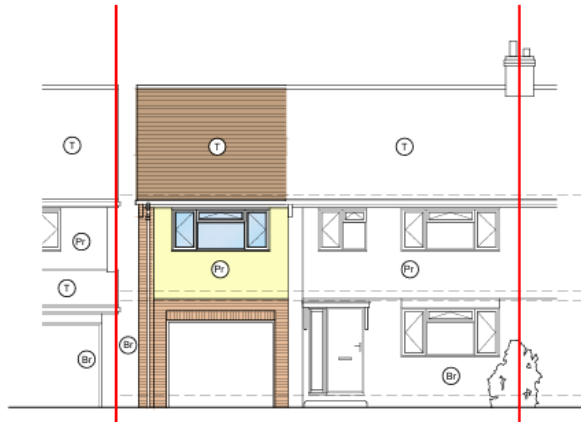


Scale Bar 1:100

Copyright reserved.

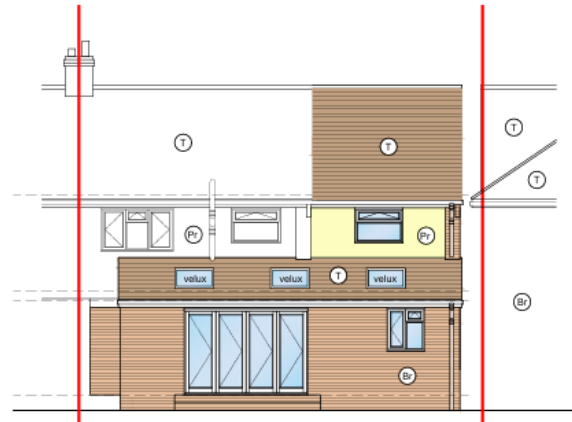
CLIENT

P1	ISSUED FOR PLANNING APPROVAL	08.11.2024
RPV	DESCRIPTION	DATE



PROPOSED FRONT ELEVATION

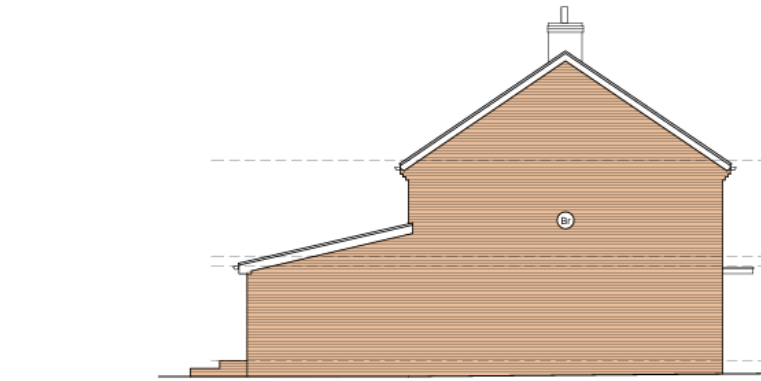
SCALE 1:100



PROPOSED REAR ELEVATION

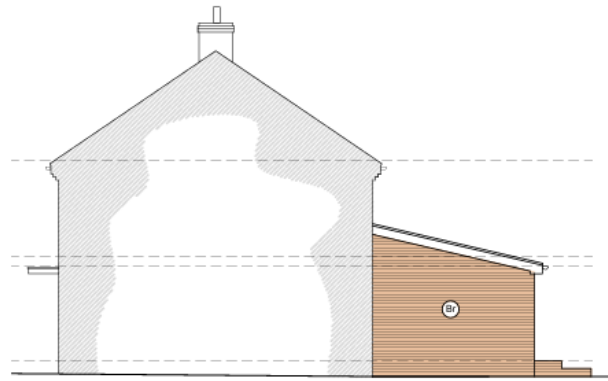
SCALE 1:100

MATERIALS KEY:	
(T)	Concrete interlocking tile roof.
(Pr)	Plain clay tile roof.
(Fr)	Flat Roof.
(Zr)	Zinc Seam Roof.
(Sr)	Shingle Roof.
(St)	Slate Tile Roof.
(Br)	Facing Brickwork.
(Th)	Tile hanging.
(Rr)	Render Finish.
(Tr)	Timber Cladding.
(Pv)	PVC Cladding.
(Stn)	Stone Finish.
(Pb)	Pebble Dash Render.
(WV)	uPVC sealed double glazed casement units.
(Ld)	Sealed double glazed sliding sash all bar.
(Og)	Obscure glazed.
(Bd)	Bi-Fold doors - PC Aluminium.
(Pd)	Patio Doors.
(Vw)	Velux window.



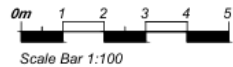
PROPOSED SIDE ELEVATION

SCALE 1:100



PROPOSED SIDE ELEVATION

SCALE 1:100



Scale Bar 1:100

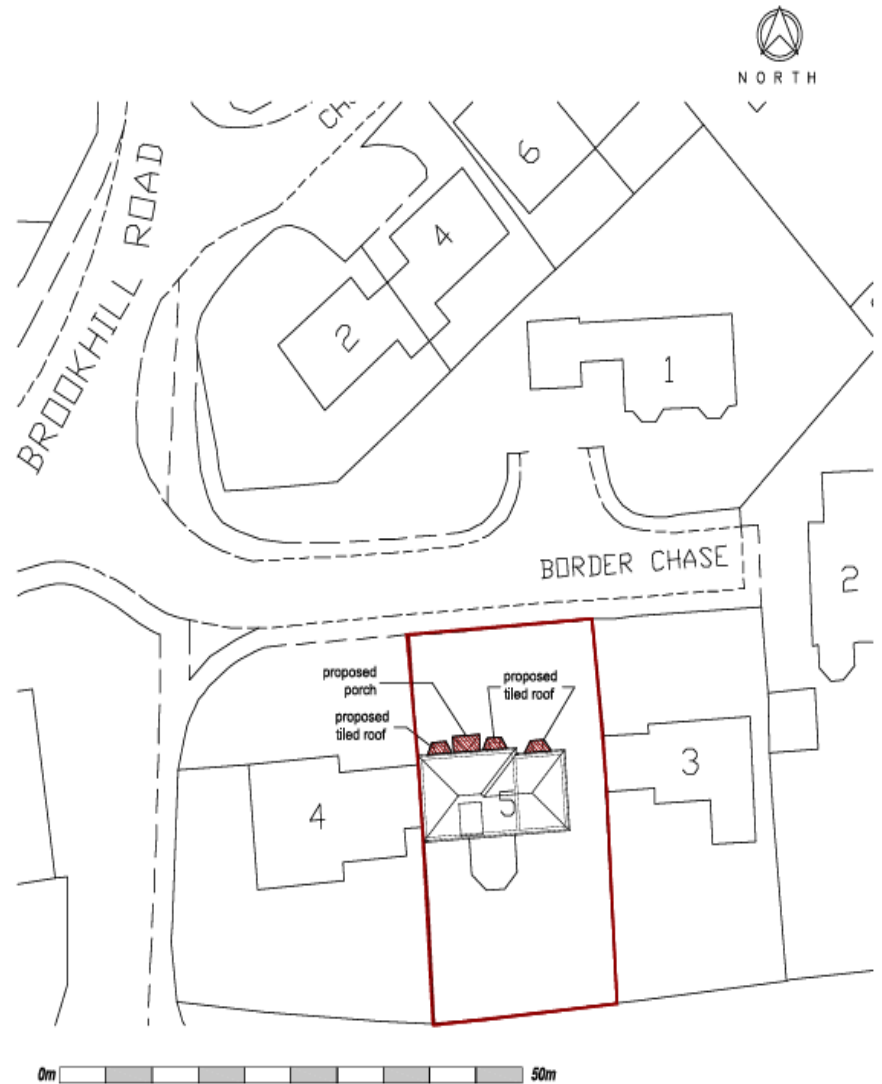
DM/25/0004

5 Border Chase Copthorne Crawley West
Sussex RH10 3QH

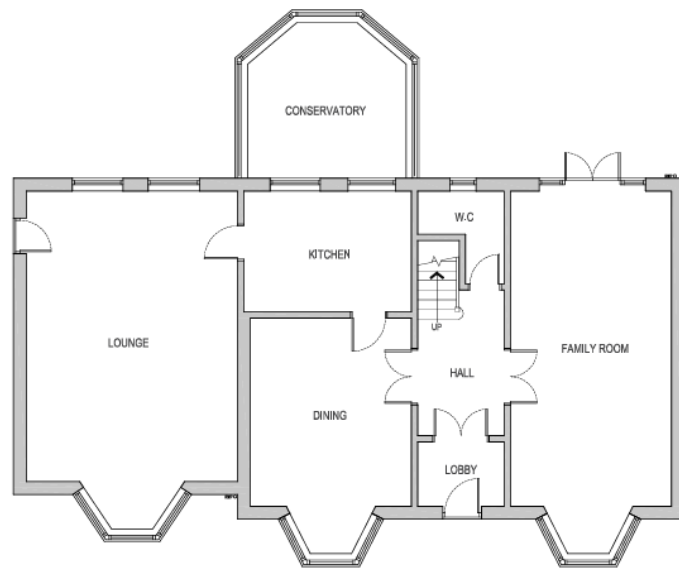
Proposed porch and tiled roof to existing bay
windows



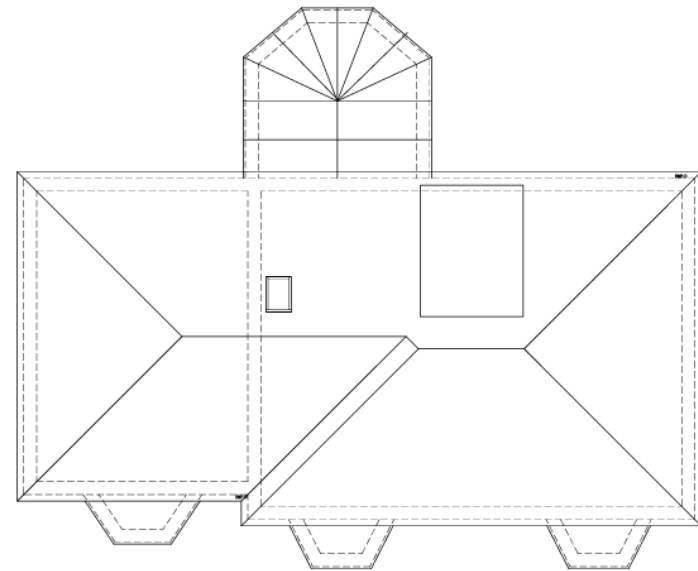
LOCATION PLAN (1:1250)



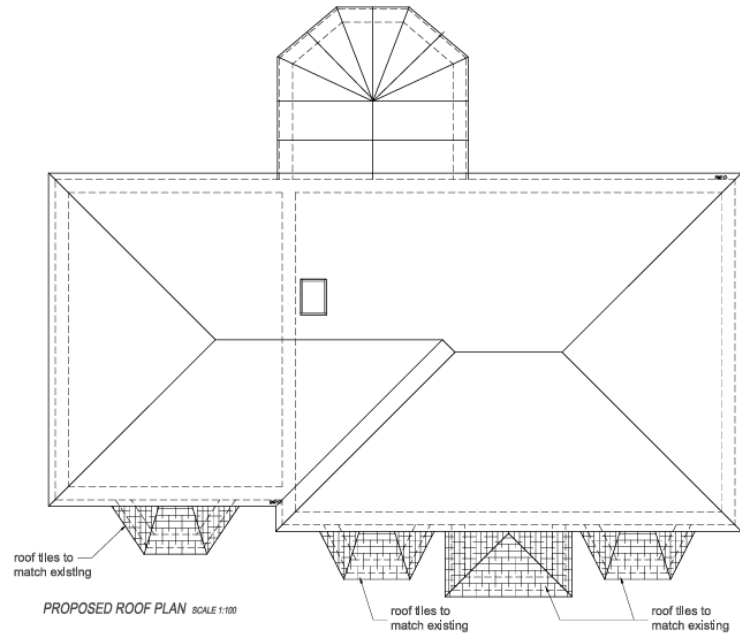
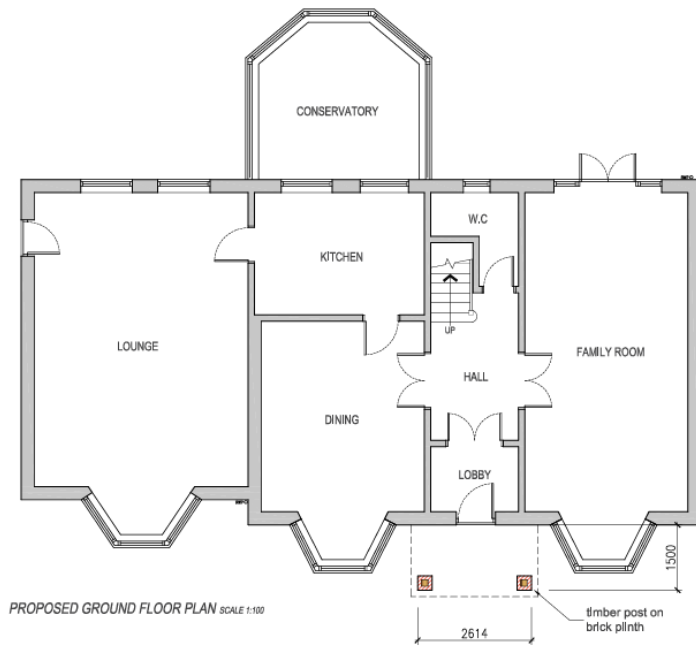
SITE/BLOCK PLAN (1:500)



EXISTING GROUND FLOOR PLAN SCALE 1:100



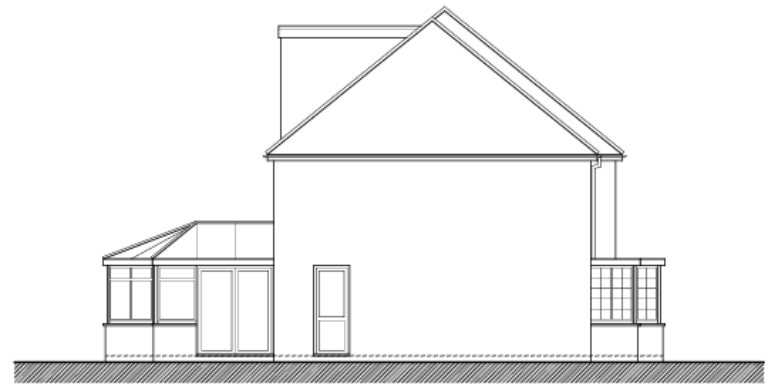
EXISTING ROOF PLAN SCALE 1:100



0m 10m



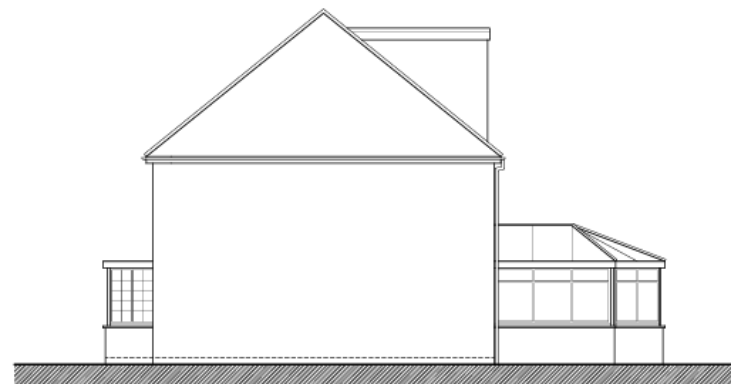
FRONT ELEVATION
EXISTING ELEVATIONS SCALE 1:100



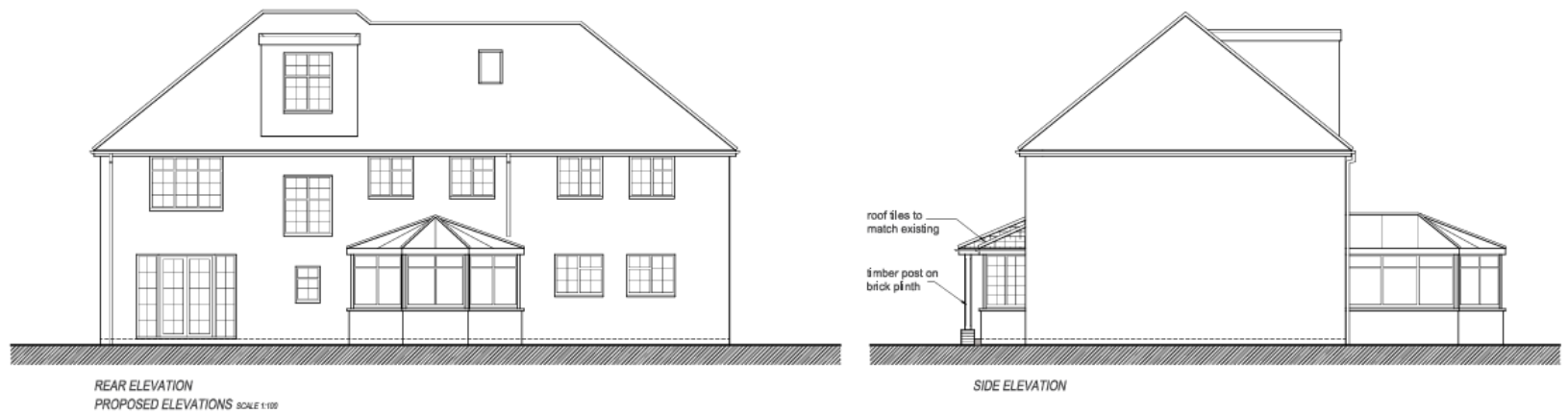
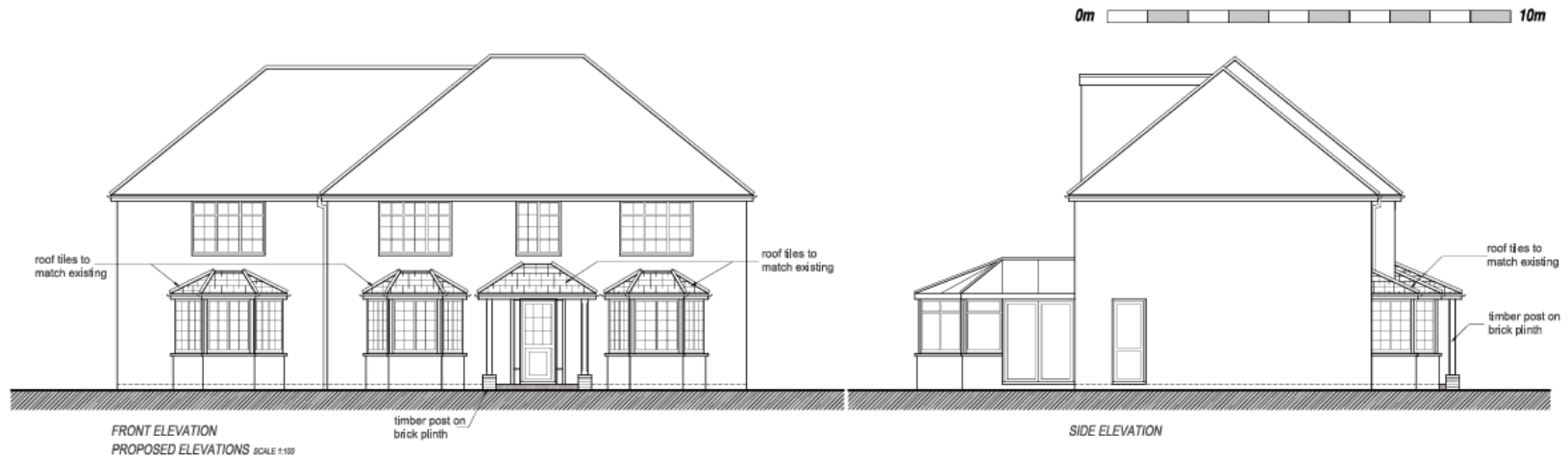
SIDE ELEVATION



REAR ELEVATION
EXISTING ELEVATIONS SCALE 1:100



SIDE ELEVATION



Applications in Neighbouring Parishes

3rd February 2025

Parish	Planning Ref	Address	Action
Burstow	2019/548/EIA	Roundabouts Farm, Clay Hall Lane, Copthorne RH10 3JE Request for screening opinion for the Proposed Development of circa 360 residential units made up of 2, 3 and 4-bedroom detached, semi-detached and terraced houses, and potentially some 1-bedroom flats and a small amount of commercial development of circa 7,000 sqft. The properties will not exceed 3-storeys.	<p>WPC has commented on the proposals and asked to be kept updated.</p> <p>Confirmed EIA required.</p> <p>No change 28.01.2025</p>
East Grinstead	DM/23/0810	<p>Land South of Crawley Down Road Felbridge East Grinstead West Sussex RH19 2PP</p> <p>Demolition of existing structures and erection of 200no. 1-, 2-, 3- and 4-bedroom homes (30% affordable) with new vehicular accesses via Crawley Down Road together with associated car parking, open space, and landscaping.</p>	<p>Amendments received, to be considered at meeting.</p> <p>Supporting Transport Statement (Internal Layout Matters) 24.11.2023</p> <p>Consultation response from SCC on the 18.12.2023. The proposed development has been considered by THE COUNTY HIGHWAY AUTHORITY who recommends an appropriate agreement should be secured before the grant of permission.</p> <p>Supporting Motion statement response 02.01.2024.</p> <p>FPC have issued comments 08.01.24 containing evidence of works on the Morning of the 16th of May.</p> <p>Updated Transport Assessment Report and Travel Plan received 19th January 2024).</p> <p>Highways Authority have issued a no objection response on the 15.02.24 subject to S106 and condition response.</p>

			<p>Southern Water updated response 19.02.24. The Council's technical staff and the relevant authority for land drainage should comment on the adequacy of the proposals to discharge surface water to the local watercourse.</p> <p>East Grinstead Town council updated consultee response, 21.02.24. The committee do not accept the latest transport assessment. There are numerous discrepancies in the data, and it does not make sense, the dates used to collate the data (15-16 May there were road closures on the A264. For example, the developer is stating that the junction capacity of the A22/A264 will decrease when SA20 is built? The road safety audit is also out of date.</p> <p>23.03.24 Tandridge District Council has comments to raise with regards to the planning application, Subject to the requests within report, particularly with regards to the highways impact being adequately addressed in accordance with Surrey County Councils and Felbridge Parish Councils concerns are recommended, this Council raises NO OBJECTION to this proposal.</p> <p>Parking and cycle storage plan 26.03.24- see attached sheet.</p> <p>26.03.24 LAND SOUTH OF CRAWLEY DOWN ROAD, FELBRIDGE (SA19) Transport Statement (Internal Layout Matters)</p> <p>National Highways supporting statement- 12.07.24 Recommends that conditions should be attached to any planning permission that may be granted. (see annex A – National Highways recommended planning conditions & reasons)</p> <p>New site and tenure plans submitted 13/08/2024 06.09.2024 Committee Report available to review. 10.09.2024- Response from West Sussex Fire and Rescue service recommendation that the hydrant condition is implemented.</p>
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			<p>04.10.2024 Sussex Police and Crime Commissioner- Police Funding and Development Growth- A primary issue for Sussex Police is to ensure that new development, like that proposed by application DM/23/0810, makes adequate provision for the future policing needs that it will generate. However, it is the limit of these funds which necessitates the need to seek additional contributions via Section 106 requests.</p> <p>18.11.2024 Updated location and open space plans Updated affordable Housing Plan</p> <p>No Further Change 28/01/2025 Suggest noting.</p>
East Grinstead	DM/21/3099	Land West of Imberhorne Lane, Imberhorne Lane. Scoping Opinion for the proposed Mixed-use development comprising 550 dwellings, Care Village, playing fields associated with Imberhorne Secondary School, land for a 2 Form Entry Primary School (with early years provision), a local centre and strategic area of Suitable Alternative Natural Greenspace, formal and informal open space, along with residential access from Imberhorne Lane	<p>Scoping opinion issued 8/10/21.</p> <p>Outline planning application DM/23/2699 now submitted.</p> <p>08.10.2024- Scoping decision is available to view.</p> <p>No further change 28.01.25</p> <p>Suggest Noting</p>
East Grinstead	DM/22/0718	<p>Land Rear Of 61 Crawley Down Road Felbridge East Grinstead West Sussex RH19 2PP</p> <p>Development to provide a mix of 20-, two-, three- and four-bedroom dwellings with access obtained through adjoining site (as approved under DM/20/1078) with associated landscaping and infrastructure.</p>	<p>Pending consideration</p> <p>Still live 08/05/2024.</p> <p>To be superseded by DM/23/0810?</p> <p>No change 28.01.2025</p> <p>Suggest Noting.</p>

<p>East Grinstead</p> <p>(Part of site and access is in Worth Parish)</p>	<p>DM/23/0990</p>	<p>Walnut Marches, Crawley Down Road, Felbridge, East Grinstead, RH19 2PS</p> <p>Demolition of the existing dwelling and erection of 6 dwellings with associated access, landscaping, garaging, and parking.</p>	<p>Pending consideration</p> <p>Tandridge consultee comment of No Objection 21.03.24</p> <p>18.03.24 Mid Sussex Tree Officer Objects to application.</p> <p>New Site Plan submitted 17.07.2024</p> <p>Suggest reiterating objections of</p> <p>Overdevelopment of site</p> <p>Access is not suitable as is a footpath not highway</p> <ul style="list-style-type: none"> • Contrary to DP12 in terms of density and size of houses • In an unsustainable location • Detrimental to local amenity • Unneighbourly <p>And to ask again that as one third of the site is in Worth Parish, that one third of suggested s106 contributions should be allocated to WPC</p> <p>20.08.2024- Natural England -No Objection Subject to Securing Appropriate Mitigation.</p> <p>15.10.2024 MSDC The Committee had no objection to the application but commented that the application should be subject to Highways approval noting the challenging junction onto Crawley Down Road.</p> <p>16.10.2024 Consultee response MSDC Tree Office – No Objection</p> <p>27.11.2024 MSDC committee report –Application recommended for approval</p> <p>No Change 28/01/2025</p>
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East Grinstead	DM/23/2699	<p>Land South and West of Imperhorne Upper School, Imberhorne Lane, East Grinstead</p> <p>Mixed use development for up to 550 dwellings (use C3), up to 150 dwellings (use class 2), land for primary school, neighbourhood centre, allotments etc. Playing fields, sports pavilion, SANG etc.</p> <p>Land South and West of Imberhorne Upper School Imberhorne Lane East Grinstead West Sussex</p> <p>Desc: Hybrid planning application seeking 1) outline planning permission for a mixed-use development comprising up to 550 dwellings (Use Class C3), a care village of up to 150 dwellings (Use Class 2), land for a 2 form entry primary school (including early years provision and special needs education provision), mixed use neighbourhood centre, allotments, landscaping and sustainable urban drainage; and 2) full planning permission for playing fields, new sports pavilion, and running track associated with Imberhorne Secondary School, a Suitable Alternative Natural Greenspace (SANG) with associated car park, access from Imberhorne Lane, internal road to the SANG and associated landscaping and infrastructure. (Additional/amended information and plans received 22nd May 2024)</p>	<p>Pending Consideration</p> <p>Nature Space partnership Response: Holding objection: further information required 01.12.23.</p> <p>Consultation response from southern water 05.12.23 indicates that this initial study indicates that these additional flows may lead to an increased risk of foul flooding from the sewer. Southern Water will carry out detailed network modelling as part of this review which may require existing flows to be monitored.</p> <p>Consultation Response Historic England 15.12.23 Historic England considers that the proposals would cause harm to the significance of Imberhorne Farmhouse, Imberhorne Farm Cottages, and Gullege Farm (grade II*listed) through development within their rural setting.</p> <p>WSCC Fire & Rescue response 18.12.2023 It is therefore recommended that the hydrant condition is implemented.</p> <p>NHS Sussex Consultee response submitted 25.01.24, Without associated infrastructure, NHS Sussex would be unable to sustain sufficient and safe services provided in the area and would therefore have to OBJECT to the development proposal.</p> <p>SCC consultee response submitted 20.02.24. No objection as highway authority, although recommends improvements to Imberhorne Lane /Heathcote Drive Junction.</p> <p>Comments from the Gypsy and Traveller community. SA20, states that the draft district plan requires on-site provision on the three Significant Site Allocations (DPSC1- DPSC 3) to contribute to the overall need. We support the on-site provision of pitches on these three draft allocations, to meet the residual need within the district. An off-site financial contribution to G&T will be made."</p>
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			<p>05.04.24 Surrey County Council consultee response. Surrey County Council Highway Authority request that the junction improvements at Imberhorne Lane/Heathcote Drive , A22/Imberhorne Lane and those immediately south of the A22/A264 junction proposed by the Developer within the traffic mitigation in the Transport Assessment and which is considered would have a positive impact on the capacity issues experienced at the A22/A264 junction should be secured as part of any planning permission granted.</p> <ul style="list-style-type: none"> • It is noted that as part of the Transport Assessment that the Developer has included a Sustainable Transport Strategy and SCC would request that this is secured as part of any planning permission granted. <p>04.07.24 MSDC Enviromental Protection have no objection in principle. A list of conditions has been provided.</p> <p>12.07.2024 Proposed Indicative Shared Footpath & Cycle Route Connection.</p> <p>12.07.2024 Proposed Route to SANG Carriageway Widths Plan.</p> <p>15.07.2024 Ecology Walkover Technical Note- temporary holding objection as ecology report is out of date and needs updating.</p> <p>17.07.2024 MSDC Full Element The development hereby permitted shall not commence unless and until details of the proposed foul and surface water drainage and means of disposal have been submitted to and approved in writing by the local planning authority. No building shall be occupied until all the approved drainage works have been carried out in accordance with the approved details. The details shall include a timetable for its implementation and a management and maintenance plan for the lifetime of the development which shall</p>
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			<p>include arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime. Maintenance and management during the lifetime of the development should be in accordance with the approved details.</p> <p>22.0702024 Sports England have withdrawn their objection to the proposal.</p> <p>29.07.2024 SCC It is acknowledged that the network is constrained, and the proposals are not able to fully meet the Allocation Policy. However, it is recognised that this is an allocated site and impacts on how we approach the application and therefore SCC Highway Authority are not raising an objection to the proposals. However, we need the above requirements for junction improvements and the implementation of a Sustainable Transport Strategy as requested above to make it acceptable in highway terms</p> <p>30.07.2024 -Active travel England Conditional approval</p> <p>07.08.2024- Ecology Report. Holding Objection pending further information on European Protected Species (Hazel Dormouse)</p> <p>15.10.2024- Sussex Police and Crime Commissioner- Police Funding and Development Growth- A primary issue for Sussex Police is to ensure that new development, like that proposed by application DM/23/0810, makes adequate provision for the future policing needs that it will generate. However, it is the limit of these funds which necessitates the need to seek additional contributions via Section 106 requests.</p> <p>16.10.2024 Consultee response WSCC Highways- No Objection</p>
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			<p>06.11.2024 Summary Of Natural England's Advice – No Objection Subject to Appropriate Mitigation Being Secured</p> <p>11.11.2024 Following a detailed ground-based assessment of each tree, TG73 (three oaks), T45, T66, T04, T94, TG1, TL27 were classified as supporting PRF-Is. Whilst no further surveys are required, sensitive removal and compensation is required to ensure no impacts on bats are predicted.</p> <p>18/11/2024 WSCC Highways - Public Rights of Way Further to the previous response dated 19th June 2024 it has become apparent that the existing arrangement where Bridleway 40aEG crosses Felbridge water via a culvert will not be able to cope with the development planned for this area. We have investigated options to mitigate and remediate this and looked at the infrastructure that will be required to carry bridleway traffic and the existing private vehicular rights safely given the planned development. We have been advised to seek an additional £50,000 S106 contribution and would be grateful if Mid Sussex District Council would consider this.</p> <p>12.12.2024 WSCC Education's formal recommendation is as follows: Conditional Approval.</p> <p>20.12.2024- Place Services' ecological advice service Recommended Approval subject to attached conditions.</p> <p>No Changes 28.01.2025 Suggest noting</p>
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New Applications/Comments in bold

Updated 28th January